



JOHNSON COUNTY COMMISSIONERS COURT

Christopher Boedeker
County Judge

Rick Bailey
Commissioner
Precinct 1

Kenny Howell
Commissioner
Precinct 2

Mike White
Commissioner
Precinct 3

Larry Woolley
Commissioner
Precinct 4

THE STATE OF TEXAS
COUNTY OF JOHNSON

§
§
§

ORDER 2024-12

ORDER APPROVING AMENDED PLAT

WHEREAS, Chapter 232 of the Texas Local Government Code requires the owner of a tract of land located outside the limits of a municipality to have a plat of the subdivision prepared if the owner divides the tract of land into two or more parts to lay out: (1) a subdivision of the tract, including an addition; (2) lots; or (3) streets, alleys, squares, parks, or other parts of the tract intended to be dedicated to public use or for the use of purchasers or owners of lots fronting on or adjacent to the streets, alleys, squares, parks or other parts; and

WHEREAS, an application for an amended plat of a subdivision has been presented to the Public Works Department of Johnson County; and

WHEREAS, the application for the amended plat of the subdivision meets the requirements of Chapter 232 of the Texas Local Government Code and the requirements of the Subdivision Rules and Regulations of Johnson County, Texas as currently amended; and

WHEREAS, a motion was made by Commissioner Woolley, Pct. 4 and seconded by Commissioner Howell, Pct. 2 that stated: "I make the motion to approve for filing purposes only, an Amended Plat of **Blackbird Meadows**, Lots 1 through 12, Block 1, in Precinct 1 and clarify that the filing of the amended plat which dedicates roads and streets to the public **does not** make those roads and streets county roads subject to county maintenance."

Said motion was approved by a vote of the Commissioners Court on the 12th day of February 2024.

Filed For Record 8:37 AM

FEB 13 2024

April Long
County Clerk, Johnson County Texas

BY April Long DEPUTY

NOW THEREFORE BE IT RESOLVED AND ORDERED:

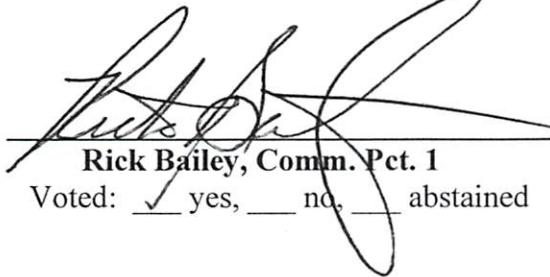
The Commissioners Court of Johnson County, Texas does hereby enter this Order approving the Amended Plat of **Blackbird Meadows**, Lots 1 through 12, Block 1, in Precinct 1 for filing purposes only and clarifying that the filing of the amended plat which dedicates roads and streets to the public **does not** make those roads and streets county roads subject to county maintenance.

WITNESS OUR HAND THIS, THE 12TH DAY OF FEBRUARY 2024.



Christopher Boedecker, Johnson County Judge

Voted: yes, no, abstained



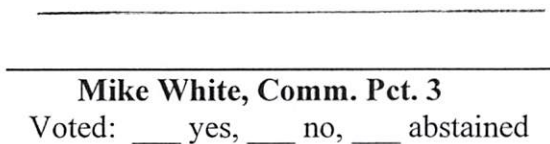
Rick Bailey, Comm. Pct. 1

Voted: yes, no, abstained



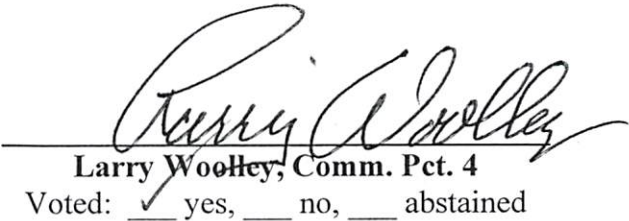
Kenny Howell, Comm. Pct. 2

Voted: yes, no, abstained



Mike White, Comm. Pct. 3

Voted: yes, no, abstained



Larry Woolley, Comm. Pct. 4

Voted: yes, no, abstained



ATTEST: April Long, County Clerk



PROPERTY DESCRIPTION

BEING A 58.415 ACRE TRACT OF LAND, IN THE DYER MUNIER SURVEY, ABSTRACT NUMBER 440, JOHNSON COUNTY, TEXAS, CONVEYED TO PERKLYNN CONSTRUCTION, LLC, AS DESCRIBED IN A DEED, RECORDED IN INSTRUMENT NUMBER 2019-34103, OFFICIAL PUBLIC RECORDS, JOHNSON COUNTY, TEXAS, O.P.R.I.C.T., AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING, AT A 28.85 FEET POINT, AT THE SOUTHEAST CORNER OF SAID PERKLYNN TRACT, AT THE SOUTHWEST CORNER OF A TRACT OF LAND, CONVEYED TO TERRY L. THOMAS, AS DESCRIBED IN A DEED, RECORDED IN VOLUME 420, PAGE 59, O.P.R.I.C.T., IN COUNTY ROAD 90A.

THENCE, WITH SAID COUNTY ROAD 90A, S 89°02'27" W, A DISTANCE OF 184.00 FEET, TO NAIL FOUND, AT THE SOUTHWEST CORNER OF SAID PERKLYNN TRACT, AT THE SOUTHWEST CORNER OF A TRACT OF LAND, CONVEYED TO ROY TRUMAN RICHARDSON & DONNIE ESTELLE RICHARDSON, AS DESCRIBED IN A DEED, RECORDED IN VOLUME 520, PAGE 47, O.P.R.I.C.T.;

THENCE, WITH THE COMMON LINE BETWEEN SAID PERKLYNN TRACT, AND WITH SAID RICHARDSON TRACT, N 81°04'47" E, A DISTANCE OF 153.20 FEET, TO A CAPPED IRON ROD SET, STAMPED "051 SURVEY 2017", FOR THE NORTHEAST CORNER OF SAID PERKLYNN TRACT, TO THE SOUTH LINE OF A REMAINING PORTION OF A TRACT OF LAND, CONVEYED TO LINDA LEE LAYLAND HADLEY, AS DESCRIBED IN A DEED, RECORDED IN INSTRUMENT NO. 2010-1394, O.P.R.I.C.T.;

THENCE, WITH THE COMMON LINE BETWEEN SAID PERKLYNN TRACT, AND WITH SAID HADLEY TRACT, THE FOLLOWING THREE (3) COURSES AND DISTANCES:

1. N 89°27'31" E, A DISTANCE OF 216.00 FEET, TO A CAPPED IRON ROD SET, STAMPED "051 SURVEY 2017";
2. S 87°24'04" E, A DISTANCE OF 304.97 FEET, TO A CAPPED IRON ROD SET;
3. N 89°50'21" E, A DISTANCE OF 158.57 FEET, TO THE NORTHWEST CORNER OF A TRACT OF LAND, CONVEYED TO CELIA RODRIGUEZ MILLER, AS DESCRIBED IN A DEED, RECORDED IN VOLUME 346, PAGE 64, O.P.R.I.C.T.;

THENCE, WITH THE COMMON LINE BETWEEN SAID PERKLYNN TRACT, AND WITH SAID MILLER TRACT, S 89°22'41" E, A DISTANCE OF 340.20 FEET, TO THE NORTHWEST CORNER OF THE MEADOWS, PHASE ONE, AN ADDITION TO JOHNSON COUNTY, RECORDED IN VOLUME 1, PAGE 341, O.P.R.I.C.T.;

THENCE, WITH THE COMMON LINE BETWEEN SAID PERKLYNN TRACT, AND WITH SAID MEADOWS TRACT, AND WITH THE COMMON LINE BETWEEN SAID PERKLYNN TRACT, AND WITH SAID THOMAS TRACT, CONSECUTIVELY, S 89°02'27" W, A DISTANCE OF 99.22 FEET TO THE POINT OF BEGINNING, AND CONTAINING 58.415 ACRES OF LAND AS SURVEYED ON THE GROUND UNDER THE SUPERVISION OF SHELBY J. HOFFMAN, S.P.L.S. NO. 6084, ON FEBRUARY 23, 2024.



LEGEND

- NF NAIL FOUND
- C.M. CONTROLLING MONUMENT
- () DENOTES RECORD DATA
- R.O.W. RIGHT-OF-WAY
- CIRS CAPPED IRON ROD SET
- STAMPED "051 SURVEY 2017"
- CIRF CAPPED IRON ROD FOUND
- BSL BUILDING SETBACK LINE
- UE UTILITY EASEMENT
- JCSUD JOHNSON COUNTY SPECIAL UTILITY DISTRICT EASEMENT
- WE WATERLINE EASEMENT

NOW THEREFORE KNOWN TO ALL MEN BY THESE PRESENTS, THAT BRANDON PERKINS, PERKLYNN CONSTRUCTION, LLC, OWNER OF THE ABOVE DESCRIBED TRACT OF LAND, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN DESCRIBED PROPERTY AS LOTS 1 THROUGH 12, BLOCK 1, BLACKBIRD MEADOWS, AN ADDITION TO THE EXTRA-TERRITORIAL JURISDICTION OF THE CITY OF CLEBURNE, JOHNSON COUNTY, TEXAS, AND HEREBY DEDICATE TO THE PUBLIC USE, WITHOUT RESERVATION, THE STREETS, EASEMENTS, RIGHT-OF-WAYS, AND ANY OTHER PUBLIC AREA SHOWN HEREON.

BRANDON PERKINS, PERKLYNN CONSTRUCTION, LLC, DATE: 2-25-24
STATE OF TEXAS
COUNTY OF JOHNSON

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED BRANDON PERKINS, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS DAY OF February, 2024.

Notary Public
SHELBY J. HOFFMAN
S.P.L.S. NO. 6084

ROY TRUMAN RICHARDSON & DONNIE ESTELLE RICHARDSON
VOLUME 520, PAGE 47
O.P.R.I.C.T.

TERRY L. THOMAS
VOLUME 420, PAGE 59
O.P.R.I.C.T.

CELIA RODRIGUEZ MILLER
VOLUME 346, PAGE 64
O.P.R.I.C.T.

THE MEADOWS, PHASE ONE
VOLUME 1, PAGE 341
O.P.R.I.C.T.

APPROX. LOC. 30" GAS PIPELINE EASEMENT
VOLUME 408, PAGE 88
O.P.R.I.C.T.

PERKLYNN CONSTRUCTION, LLC
INSTRUMENT NO. 2019-34103
O.P.R.I.C.T.

PERKLYNN CONSTRUCTION, LLC
164 PALOMINO CT.
CRESSON, TEXAS

TCCT WRIGHT LAND LLC
INSTRUMENT NO. 2021-2889
O.P.R.I.C.T.

AMENDED PLAT
BLACKBIRD MEADOWS
LOTS 1 THROUGH 12, BLOCK 1

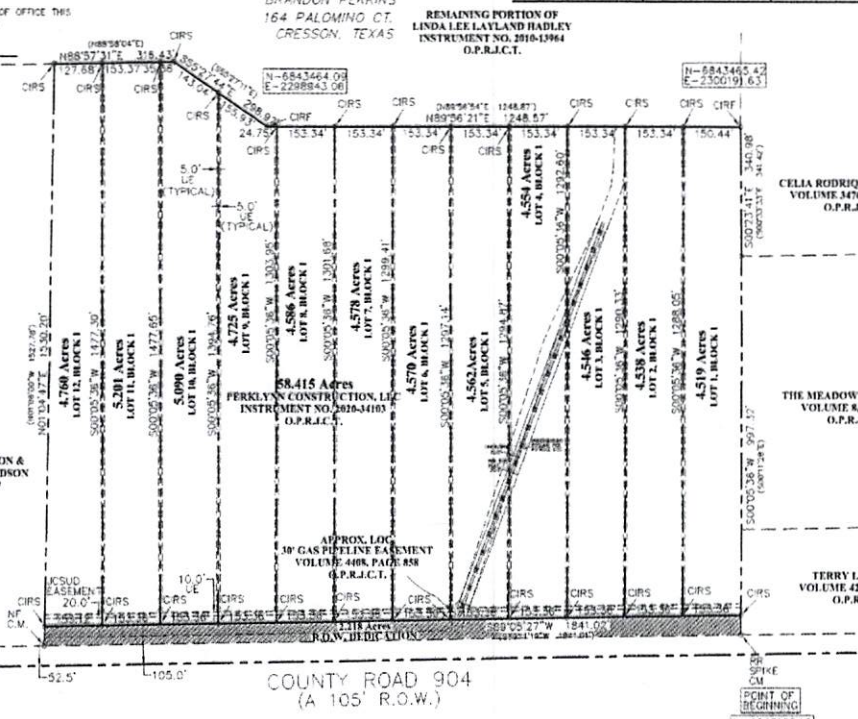
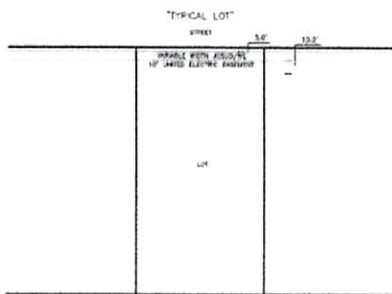
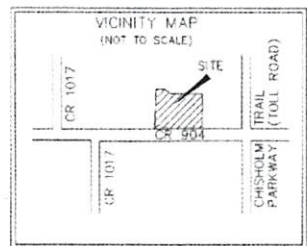
AN ADDITION TO THE EXTRA-TERRITORIAL JURISDICTION OF THE CITY OF CLEBURNE, JOHNSON COUNTY, TEXAS

BEING A 58.415 ACRE TRACT OF LAND OUT OF THE DYER MUNIER SURVEY, ABSTRACT NUMBER 440, SITUATED IN JOHNSON COUNTY, TEXAS, RECORDED IN INSTRUMENT NUMBER 2019-34103, OFFICIAL PUBLIC RECORDS, JOHNSON COUNTY, TEXAS

PLAT RECORDED IN _____ YEAR _____ INSTRUMENT # _____ DRAWER _____ SLIDE _____ DATE _____ COUNTY CLERK, JOHNSON COUNTY, TEXAS DEPUTY _____

APPROVED BY JOHNSON COUNTY, COMMISSIONERS COURT ON THIS _____ DAY OF _____, 2024.

COUNTY JUDGE _____



FLOOD STATEMENT:
1. ACCORDING TO THE FLOOD INSURANCE RATE MAP FOR JOHNSON COUNTY, TEXAS AND INDETERMINED AREAS, COMMUNITY PANEL NO. 40510N01, EFFECTIVE DATE DECEMBER 4, 2012, THIS PROPERTY IS LOCATED IN ZONE "X", (AREAS DETERMINED TO BE OUTSIDE THE FLOODPLAIN).

2. THE ABOVE REFERENCED FEMA FLOOD INSURANCE RATE MAP IS FOR USE IN ADMINISTERING THE "NFIP". IT DOES NOT NECESSARILY SHOW ALL AREAS SUBJECT TO FLOODING, PARTICULARLY FROM LOCAL SOURCES OF SMALL SIZE WHICH COULD BE FLOODED BY SEVERE, CONCENTRATED RAINFALL COUPLED WITH INADEQUATE LOCAL DRAINAGE SYSTEMS. THERE MAY BE OTHER STREAMS, CREEKS, LOW AREAS, DRAINAGE SYSTEMS OR OTHER SURFACES OR SUBSURFACE CONDITIONS EXISTING ON OR NEAR THE SUBJECT PROPERTY WHICH ARE NOT STUDIED OR ADDRESSED AS PART OF THE "NFIP".
3. DRAINAGE OF THE FLOOD OF WATER OR CONSTRUCTING IMPROVEMENTS IN THE DRAINAGE EASEMENTS, AND FILLING OR OBSTRUCTION OF THE FLOODWAY IS PROHIBITED.
4. THE EXISTING CREEKS OR DRAINAGE CHANNELS TRAVELING ALONG OR ACROSS THE ADDITION WILL REMAIN AS OPEN CHANNELS AND WILL BE MAINTAINED BY THE INDIVIDUAL OWNERS OF THE LOT OR LOTS THAT ARE TRAVELLED BY OR ADJACENT TO DRAINAGE COURSES ALONG OR ACROSS SAID LOTS.
5. ON SITE DRAINAGE SHALL BE CONVEYED BY DRAINAGE SWALES BETWEEN LOTS, SWALES SHALL BE A MINIMUM OF THIRTY (30) INCHES FROM BUILDING FOUNDATION TO FINISH GROUND LEVEL GRADE AROUND BUILDING AND DIRECTED TOWARD PUBLIC STREETS OR DRAINAGE EASEMENTS.

PRIVATE SEWAGE FACILITY:
On-site sewage facility provisions cannot be guaranteed through all provisions of the rules of Johnson County, Texas for private sewage facilities are completed with inspection and acceptance of a private sewage facility by the Public Works Department shall indicate only that the facility meets minimum requirements and does not allow the owner of the property to complete any County, State and Federal regulations. Private sewage facilities, although approved as meeting minimum standards, must be upgraded by the owner at the owner's expense if at any time the facility meets an additional rule, if necessary, conditions are created, or if the facility when used does not comply with governmental regulations. Property designed and constructed private sewage facility system, installed in accordance with, and maintenance of the amount of water that is required to dispose of it is controlled will be the responsibility of the owner to maintain and operate the private on-site facility as a wastewater system.

FILING A PLAT:
• IT IS A CRIMINAL OFFENSE PUNISHABLE BY A FINE OF UP TO \$1000.00, CONFINEMENT IN THE COUNTY JAIL FOR UP TO 90 DAYS OR BY BOTH FINE AND CONFINEMENT FOR A PERSON WHO SUBDIVIDES REAL PROPERTY TO USE THE SUBDIVISION'S DESCRIPTION IN A DEED, CONVEYANCE, A CONTRACT FOR A DEED, OR A CONTRACT OF SALE OR OTHER INSTRUMENT TO CONVEY THAT IS DELIVERED TO A PURCHASER UNLESS THE PLAT OR REPEAT OF THE SUBDIVISION IS APPROVED AND FILED FOR RECORDS WITH JOHNSON COUNTY. HOWEVER, SAID DESCRIPTION MAY BE USED IF THE CONVEYANCE IS EXPRESSLY CONTINGENT ON APPROVAL AND RECORDING OF THE FINAL PLAT AND THE PURCHASER IS NOT GIVEN USE OR OCCUPANCY OF THE REAL PROPERTY CONVEYED BEFORE THE RECORDING OF THE REPEAT.

- A PURCHASER MAY NOT USE OR OCCUPY PROPERTY DESCRIBED IN A PLAT OR REPEAT OF A SUBDIVISION UNTIL SUCH TIME AS THE PLAT IS FILED FOR RECORD WITH THE COUNTY CLERK'S OFFICE.
- SURVEYOR'S NOTES:**
1. ALL READINGS SHOWN HEREON ARE CORRELATED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (NAD 83) IN 2011. ALL ELEVATIONS ARE CORRELATED TO MVD 84.
 2. () DENOTES RECORD DATA.
 3. ALL INTERMEDIATE CORNERS TO BE MARKED WITH A CAPPED IRON ROD, STAMPED "051 SURVEY 2017".
 4. WATER SERVICE TO THIS SUBJECT TRACT, WILL BE PROVIDED BY SOLD, AND A BLANKET WATERLINE EASEMENT IS REFERRED IN VOLUME 420, PAGE 71, O.P.R.I.C.T., DOES AFFECT THE SUBJECT TRACT.
 5. THIS PLAT DOES NOT ATTEMPT TO AMEND OR REMOVE RECORDED COVENANTS OR RESTRICTIONS.

THIS PLAT DOES NOT ATTEMPT TO AMEND OR REMOVE RECORDED COVENANTS OR RESTRICTIONS.

SURVEYOR'S CERTIFICATION:
1. SHELBY J. HOFFMAN, DO CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND ON FEBRUARY 23, 2024 AND THAT THE MONUMENTS SHOWN HEREON AS SET WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION.

SHELBY J. HOFFMAN
02/23/24
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6084



GEOMATIC SOLUTIONS, INC.
3000 S. HULEN, SUITE 124-236, FORT WORTH, TEXAS
OFFICE: 817-487-8916
PELS FIRM NO. 10184400, SHELBY@GCSURVEY.COM

Scale: 1"=150' Date: 02/23/24 DWG: 2021110-AMEND_PLAT
Drawn: OF Checked: S.J.H. Job: 2021-110

AGENDA PLACEMENT FORM

(Submission Deadline – Monday, 5:00 PM before Regular Court Meetings)

Date: February 5, 2024

Meeting Date: February 12, 2024

Submitted By: Julie Edmiston

Department: Public Works

Signature of Elected Official/Department Head: 

Court Decision:
This section to be completed by County Judge's Office



February 12, 2024

Description:

Consideration of Order 2024-12, Order Approving the Amended Plat of
Blackbird Meadows, Lots 1 through 12, Block 1 in Precinct 1.

(May attach additional sheets if necessary)

Person to Present: Jennifer VanderLaan

(Presenter must be present for the item unless the item is on the Consent Agenda)

Supporting Documentation: (check one) PUBLIC CONFIDENTIAL

(PUBLIC documentation may be made available to the public prior to the Meeting)

Estimated Length of Presentation: 10 minutes

Session Requested: (check one)

Action Item Consent Workshop Executive Other _____

Check All Departments That Have Been Notified:

County Attorney IT Purchasing Auditor

Personnel Public Works Facilities Management

Other Department/Official (list) _____

**Please List All External Persons Who Need a Copy of Signed Documents
In Your Submission Email**